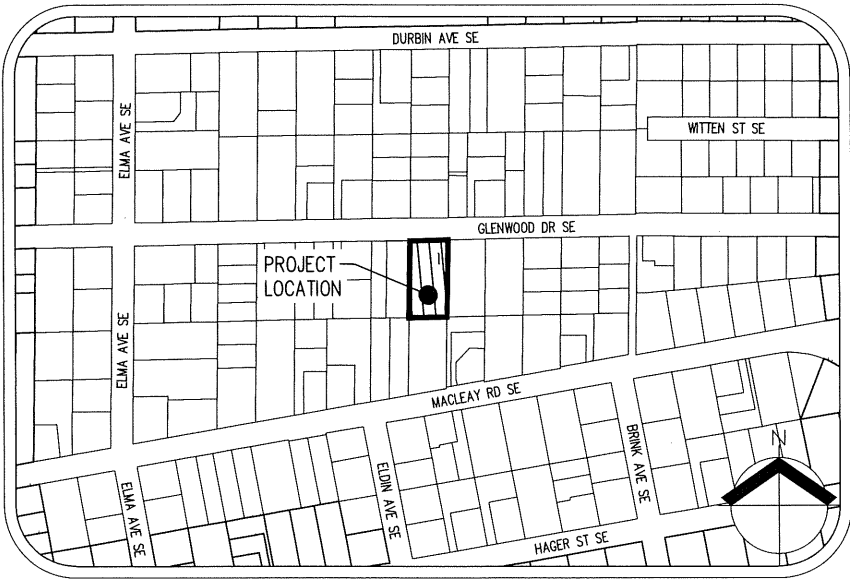
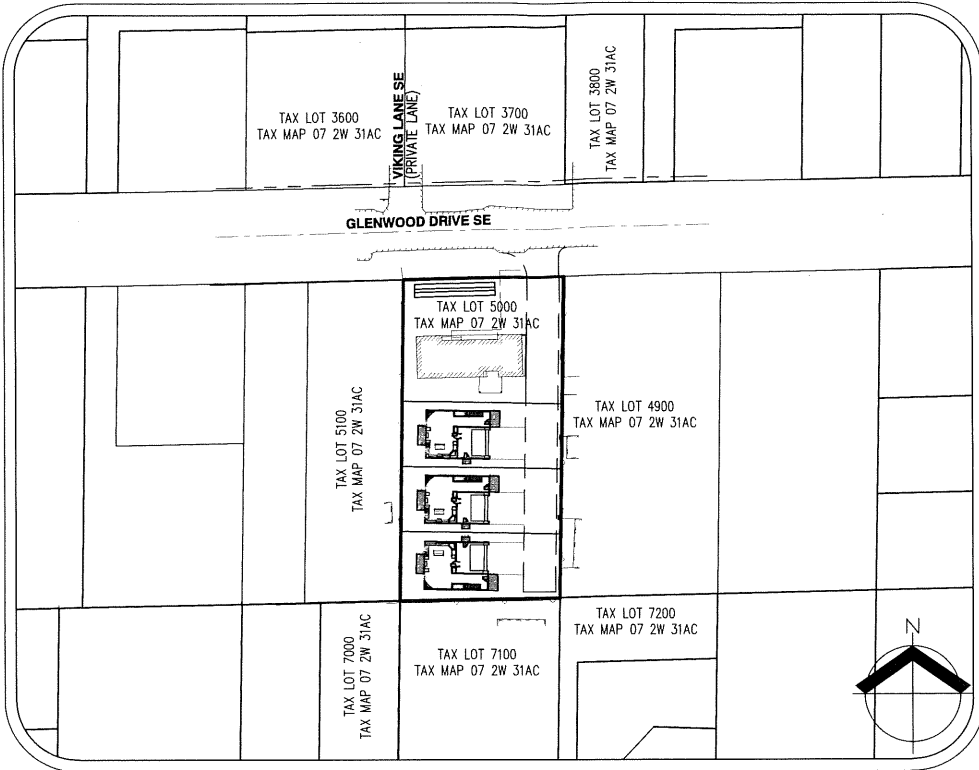


4336 GLENWOOD DR SE

PRELIMINARY LAND USE PLANS



VICINITY MAP
NOT TO SCALE



SITE MAP
NOT TO SCALE

PROPERTY DESCRIPTION:

MARION COUNTY TAX MAP 07 2W 31AC
TAX LOT 5000

PROPERTY LOCATION:

4336 GLENWOOD DR SE
SALEM, OREGON 97301

VERTICAL DATUM

NGVD 29. ELEVATIONS ARE BASED ON NGS
BENCHMARK QE1456, LOCATED AT 2510 TURNER
ROAD SOUTHEAST. ELEVATION =209.10 FEET (NAVD
88) THEN ADJUSTED TO NGVD 29 WITH A VERTCON
SHIFT OF -3.36 FEET, SETTING THE NGVD 29
ELEVATION AT 205.74.

CIVIL ENGINEERING/ SURVEYING/ LAND USE PLANNING/ GEOTECHNICAL ENGINEERING

AKS ENGINEERING & FORESTRY, LLC
ENGINEERING CONTACT: ESTEFAN CERVANTES, PE
EMAIL: CERVANTESE@AKS-ENG.COM
PLANNING CONTACT: MARELIE VORSTER
EMAIL: PELZZ@AKS-ENG.COM
3700 RIVER RD N, STE 1
KEIZER, OR 97303
503.400.6028
WWW.AKS-ENG.COM

ARCHITECT

HURLEY DESIGN GROUP
CONTACT: TIM HURLEY
440 FIRST AVENUE, SUITE 1
ALBANY, OREGON 97321
PH: 541.791.9880

OWNER/APPLICANT:

VILLALOBOS REAL ESTATE LLC
2628 HAPPY VALLEY WAY SE
SALEM, OR 97317

SHEET INDEX

P00	COVER SHEET
P01	EXISTING CONDITIONS PLAN
P02	PRELIMINARY PLAT
P03	PRELIMINARY DEMOLITION PLAN
P04	PRELIMINARY SITE PLAN
P05	PRELIMINARY GRADING AND STORMWATER PLAN
P06	PRELIMINARY UTILITY PLAN
P07	PRELIMINARY FIRE TRUCK CIRCULATION PLAN

EXISTING	PROPOSED	EXISTING	PROPOSED
DECIDUOUS TREE		STORM DRAIN CLEAN OUT	
CONIFEROUS TREE		STORM DRAIN CATCH BASIN	
FIRE HYDRANT		STORM DRAIN AREA DRAIN	
WATER BLOWOFF		STORM DRAIN MANHOLE	
WATER METER		GAS METER	
WATER VALVE		GAS VALVE	
DOUBLE CHECK VALVE		GUY WIRE ANCHOR	
AIR RELEASE VALVE		UTILITY POLE	
SANITARY SEWER CLEAN OUT		POWER VAULT	
SANITARY SEWER MANHOLE		POWER JUNCTION BOX	
SIGN		POWER PEDESTAL	
STREET LIGHT		COMMUNICATIONS VAULT	
MAILBOX		COMMUNICATIONS JUNCTION BOX	
		COMMUNICATIONS RISER	

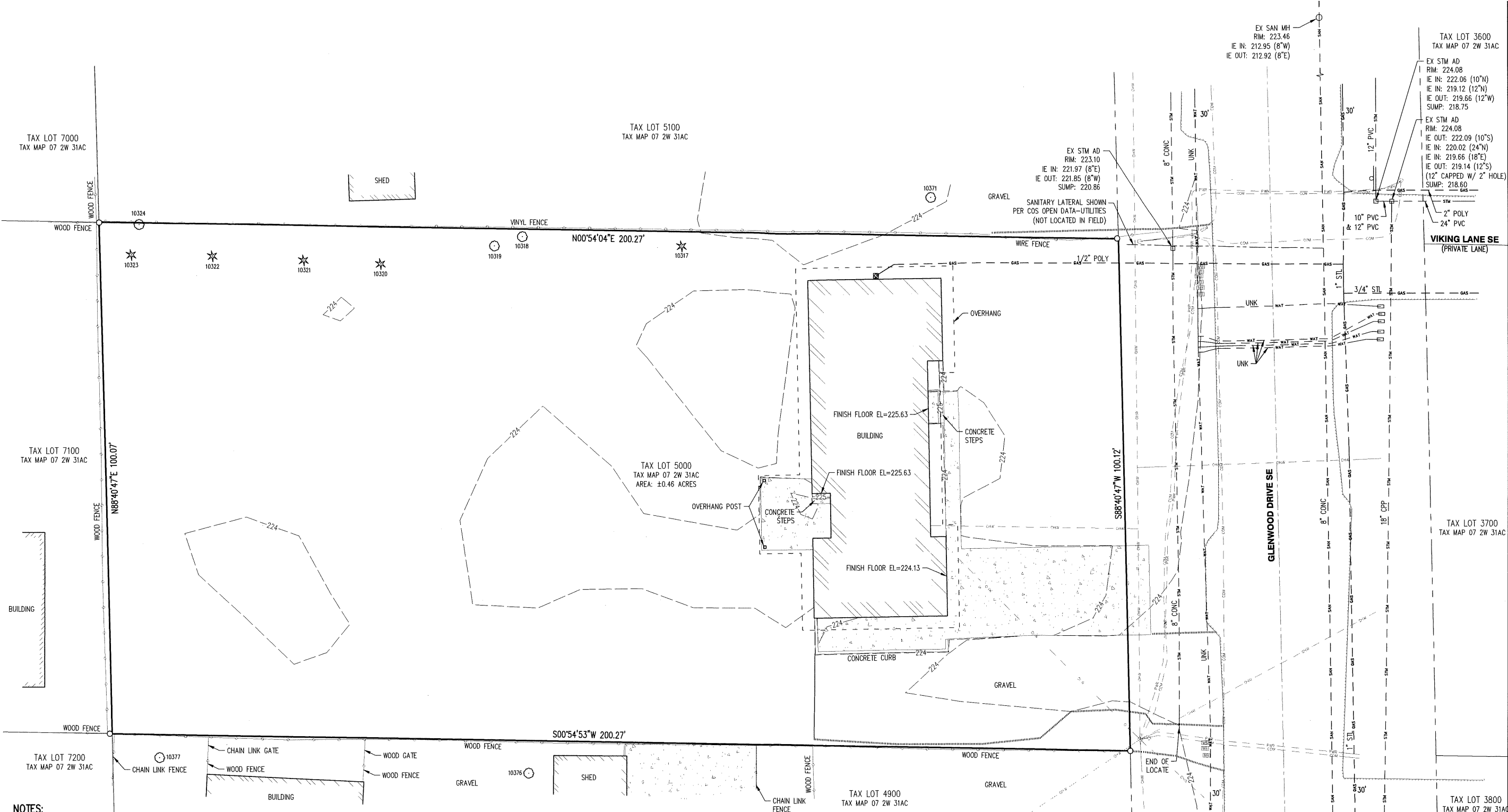
	EXISTING	PROPOSED
RIGHT-OF-WAY LINE		
BOUNDARY LINE		
PROPERTY LINE		
CENTERLINE		
DITCH		
CURB		
EDGE OF PAVEMENT		
GUTTER		
EASEMENT		
FENCE LINE		
GRAVEL EDGE		
POWER LINE		
OVERHEAD WIRE		
COMMUNICATIONS LINE		
FIBER OPTIC LINE		
GAS LINE		
STORM DRAIN LINE		
SANITARY SEWER LINE		
WATER LINE		
RECLAIMED WATER LINE		

EXISTING CONDITIONS PLAN
4336 GLENWOOD DR SE
VILALOBOS REAL ESTATE LLC
SALEM, OREGON

REGISTERED
PROFESSIONAL
LAND SURVEYOR
NOVEMBER 2021
JOSEPH A. SULLIVAN
86458LS
RENEW: 6/30/2028

JOB NUMBER: 13833
DATE: 06/22/2026
DESIGNED BY: ---
DRAWN BY: VK
CHECKED BY: JS

P01



- NOTES:**
- UTILITIES SHOWN ARE BASED ON PUBLIC UNDERGROUND UTILITY LOCATE MARKINGS AS PROVIDED BY OTHERS PER UTILITY LOCATE TICKET NUMBERS 26049588 AND 26049589. PRIVATE UNDERGROUND UTILITY LOCATE MARKINGS PROVIDED BY MARK IT OUT LLC. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND LOCATES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
 - *STRUCTURES FOUND WITHOUT PUBLIC UTILITIES MARKED. ADDITIONAL UNDERGROUND UTILITIES MAY BE IN AREA.
 - FIELD WORK WAS CONDUCTED FEBRUARY AND MARCH 2026.
 - HORIZONTAL DATUM: OREGON COORDINATE REFERENCE SYSTEM, SALEM ZONE.
 - VERTICAL DATUM: NGVD 29. ELEVATIONS ARE BASED ON NGS BENCHMARK QE1456, LOCATED AT 2510 TURNER ROAD SOUTHEAST. ELEVATION =209.10 FEET (NAVD 88) THEN ADJUSTED TO NGVD 29 WITH A VERTCON SHIFT OF -3.36 FEET, SETTING THE NGVD 29 ELEVATION AT 205.74.
 - CONTOUR INTERVAL IS 1.00 FOOT.
 - THIS IS NOT A PROPERTY BOUNDARY SURVEY TO BE RECORDED WITH THE COUNTY SURVEYOR. BOUNDARIES MAY BE PRELIMINARY AND SHOULD BE CONFIRMED WITH THE STAMPING SURVEYOR PRIOR TO RELYING ON FOR DETAILED DESIGN OR CONSTRUCTION.
 - BUILDING FOOTPRINTS ARE MEASURED TO SIDING UNLESS NOTED OTHERWISE. CONTACT SURVEYOR WITH QUESTIONS REGARDING BUILDING TIES.
 - TREES WITH DIAMETER OF 6" AND GREATER ARE SHOWN. TREE DIAMETERS WERE MEASURED UTILIZING A DIAMETER TAPE AT BREAST HEIGHT. TREE INFORMATION IS SUBJECT TO ARBORIST INSPECTION.
 - FIDELITY NATIONAL TITLE COMPANY OF OREGON, TITLE REPORT, ORDER NO. 60222504879, WITH AN EFFECTIVE DATE OF OCTOBER 30, 2025 WAS REVIEWED AS PART OF THIS SURVEY. NO PLOTTABLE EASEMENTS ARE INCLUDED IN THE REPORT

LEGEND

EXISTING

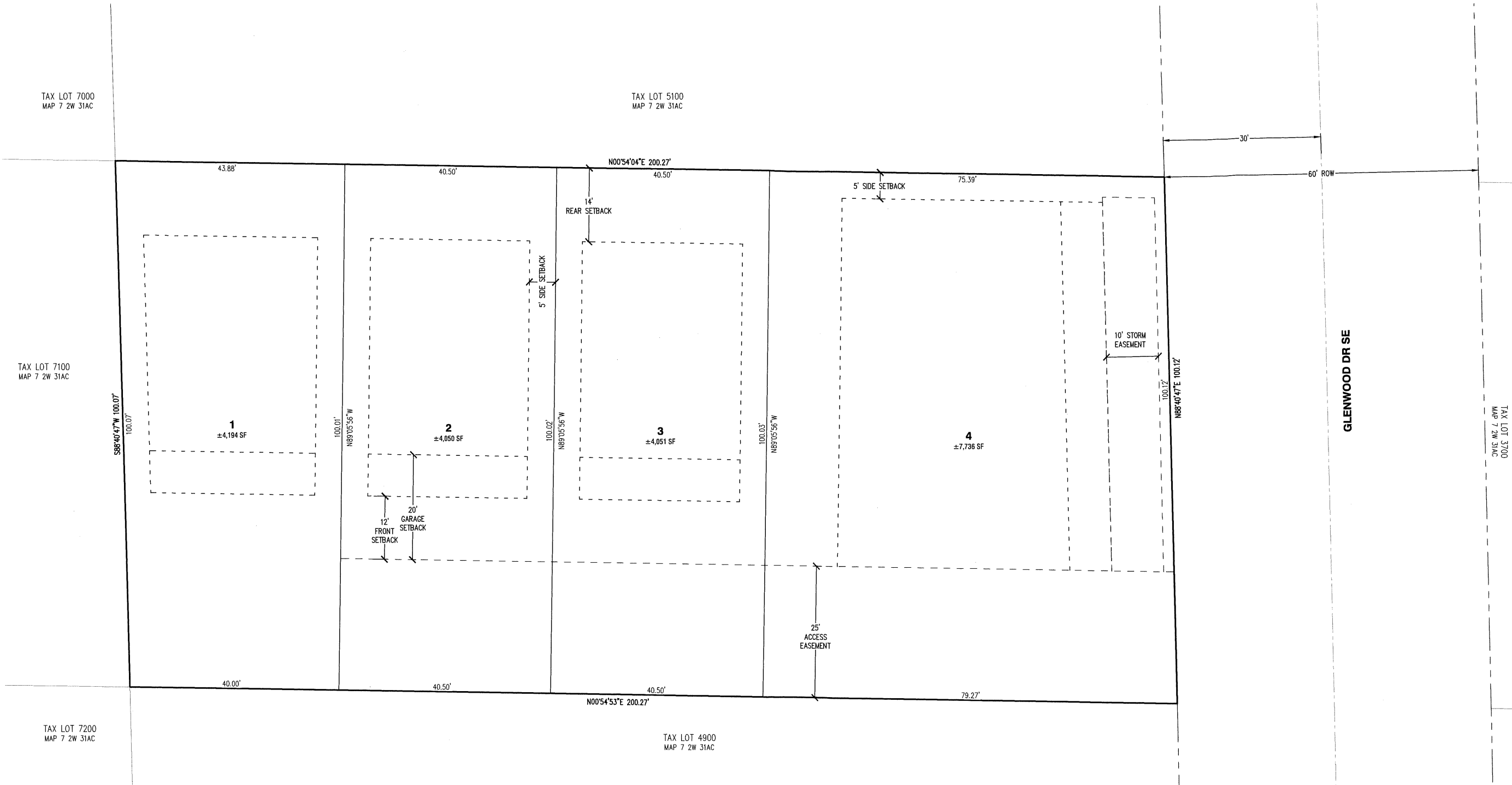
RIGHT-OF-WAY LINE	---
BOUNDARY LINE	---
PROPERTY LINE	---
CENTERLINE	---
DITCH	---
CURB	---
EDGE OF PAVEMENT	---
EASEMENT	---
FENCE LINE	---
GRAVEL EDGE	---
POWER LINE	---
OVERHEAD WIRE	---
COMMUNICATIONS LINE	---
GAS LINE	---
STORM DRAIN LINE	---
SANITARY SEWER LINE	---
WATER LINE	---

EXISTING

DECIDUOUS TREE	○
CONIFEROUS TREE	★
WATER METER	□
WATER VALVE	×
SANITARY SEWER MANHOLE	○
STORM DRAIN AREA DRAIN	□
SIGN	□
MAILBOX	□
GAS METER	□
GAS VALVE	□
GUY WIRE ANCHOR	□
UTILITY POLE WITH LIGHT ARM	□
POWER JUNCTION BOX	□
COMMUNICATIONS RISER	□
FOUND MONUMENT	○

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
10317	CONIFEROUS	39
10318	DECIDUOUS	14 16
10319	DECIDUOUS	16
10320	CONIFEROUS	21
10321	CONIFEROUS	44
10322	CONIFEROUS	23
10323	CONIFEROUS	25
10324	DECIDUOUS	7 8
10371	DECIDUOUS	6 6 6 6
10376	DECIDUOUS	6 7 7 7 8
10377	DECIDUOUS	6

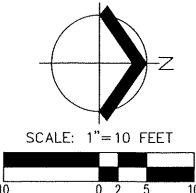
AKS DRAWING FILE: 13833 PRELIM PLAT.DWG | LAYOUT: P02



SITE SUMMARY

SITE ZONING:	SINGLE-FAMILY RESIDENTIAL (RS)
GROSS SITE AREA:	±20,031 SF (±0.46 AC)
PROPOSED LOTS:	4 LOTS
RS DEVELOPMENT STANDARDS:	
MINIMUM LOT AREA:	4,000 SQ FT
MINIMUM LOT WIDTH:	40 FT
MINIMUM LOT DEPTH:	70 FT
HEIGHT LIMIT:	35 FT
FRONT SETBACK:	12 FT
GARAGE SETBACK:	20 FT
SIDE SETBACK:	5 FT
REAR SETBACK:	14 FT

THE PURPOSE OF THIS PRELIMINARY PLAT IS TO SHOW THE PROPOSED LOT DIMENSIONS AND AREAS FOR PLANNING PURPOSES. THIS IS NOT AN OFFICIAL PLAT AND IS NOT TO BE USED FOR SURVEY PURPOSES.



PRELIMINARY PLAT
4336 GLENWOOD DR SE
VILLALOBOS REAL ESTATE LLC
SALEM, OREGON



JOB NUMBER:	13833
DATE:	06/22/2026
DESIGNED BY:	EGR
DRAWN BY:	JDO
CHECKED BY:	TDR

P02